



**ARMSTRONG
FENTON**
ASSOCIATES

PROJECT: Strategic Housing Development

REPORT: Statement of Response to An Bord Pleanála's Notice of Pre-Application Consultation Opinion Ref.: ABP-311683-21

CLIENT: DSPL Ltd

DATE: April 2022

**Planning &
Development
Consultants**



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1.0. Introduction

Applicant's Response to An Bord Pleanála Pre-Application Consultation Opinion Reg.: ABP-311683-21

1.1. Pre-application consultation with An Bord Pleanála in relation to the proposed development, under Section 5 of the Planning and Development (Housing) and Residential Tenancies Act 2016 took place on 1st December 2021 online via Microsoft Teams, due to the Covid-19 pandemic.

1.2. The Board's Notice of Pre-Application Consultation Opinion, under Ref. 311683-210, was issued on 15th December 2021, and is referred to hereafter as "the Opinion". The Opinion states that An Bord Pleanála *"is of the opinion that the documents submitted with the request to enter into consultations constitute a reasonable basis for an application for strategic housing development"*.

1.3. The Opinion identifies four items of additional specific information that are to be submitted with any application for permission. Documentation has been prepared and/or updated in response to this request to ensure that the Board will have all of the information it requires to come to a reasoned decision on the proposed development. A summary of the responses provided to each of these specific points is set out in Section 2 of this statement with reference to accompanying application documentation.

1.4. The final proposals and application documentation, now put forward for permission, have had regard to the points of discussion and issues raised during the course of the tripartite SHD pre-application meeting held on 1st December 2021, and meetings pursuant to Section 247 of the Planning and Development Act 2000 (as amended), undertaken with the Planning Authority prior to the tripartite meeting with both An Bord Pleanála and the Planning Authority.

1.5. This Statement will refer to other documentation which forms part of the final SHD application pack and will direct the reader to the relevant information within the application documentation, which demonstrates that the issues raised during the course of pre-application consultation have been fully and satisfactorily dealt with prior to the submission of this final Strategic Housing Development Application.



2.0. Response to An Bord Pleanála Opinion

2.1. The Opinion of An Bord Pleanála following the pre-application stage for the proposed development sets out four specific items of information that are to be submitted with a SHD planning application. The Board consider that these items / information need to be addressed / included in the final documentation submitted to the Board for permission in order to ensure that the proposed development and supporting documentation would constitute a reasonable basis for an application for a strategic housing development.

2.2. Each of the four items raised within the Opinion are set out below, and a response is provided thereto, referring to other documentation or sections within documents that form part of the planning application and which provide a more detailed or technical response, where relevant.

Item No. 1:

Notwithstanding that the proposal constitutes a reasonable basis for an application the prospective applicant is advised to address the following in the documents submitted:

- a) *Further consideration and/or justification of the documents as they relate to the proposed density for the site. The proposed development shall have regard to the requirement for the efficient use of lands as prescribed in the Sustainable Residential Developments in Urban Areas-Guidelines for Planning Authorities and Objective DM OBJ 14 of the Meath County Development Plan 2021-2027, where densities of 25uph - 35uph are required in Duleek.*

Response to Item 1 (a):

The details submitted by the applicant for pre-planning consultation in October 2021 proposed a development of 118 no. units which equated to a density of 25 units per hectare. The rationale for same at that time was due to the fact that the previous Meath County Development Plan 2013-2019 was the current Plan in place. Under the Core Strategy of the 2013-2019 Development Plan, Duleek was identified as a Small Town. The 2013-2019 Plan stated that the appropriate density on lands zoned A2 would be determined on a site by site basis having regard to the DoECLG Guidelines on Sustainable Residential Development in Urban areas, which state that net densities of 20-35 dwellings per hectare should generally be encouraged on edge of centre sites of Small Towns and the positioning of the urban centre in the Settlement Hierarchy provided in the Core Strategy.

It should also be noted that the adoption of Variation No. 2 of the 2013-2019 Meath County Development Plan, in May 2014, resulted in the provision of Written Statements and Land Use Zoning Objective Maps for various settlement centres in Meath, including Duleek. Variation No. 2 effectively implemented the household allocation requirements of the Core Strategy for these centres with an Order of Priority Phasing Arrangement for Residential Zoned Lands. At the time of issuing the Core Strategy of the County Development Plan, part of the subject site had the benefit of planning permission for 70 no. dwellings under Ref. SA/140396 (since expired) which was taken into consideration in the housing allocation of 239 no. units to Duleek over the 2013 – 2019 period.

The land use zoning objectives map identified the lands required to accommodate the allocation of 239 no. units provided for in Duleek under the Core Strategy and this was followed by the carrying out of an examination of the lands previously identified for residential land use in the 2009 Duleek Local Area Plan and still available for development. The lands that were identified for residential land use and were evaluated for inclusion within Phase 1 of the Order of Priority included the subject site, which is identified as "Site B" as per the tables overleaf and was ranked in second place in terms of the order of priority for development in Duleek.



Description of Individually Zoned Available Sites Evaluated

Site	Location	Land Area
Site A	Lands between Station Road & Fr. Ryan's Park	1.79ha
Site B	Lands south of Larrix Street	2.76ha
Site C	Lands east of Abbey Road	1.33ha
Site D	Lands between Longford Road & Larrix Street	9.1ha
Site E	Lands between Downtown Road & Navan Road	2.1ha
Site F	Lands west of Bathe Abbey	0.6ha
Site G	Lands south of Downtown Manor	3.54ha
Site H	Lands between Station Road & Main Street.	1.32ha
Site I	Lands west of The Commons residential development	2.03ha
Site J	Lands between Donore Road & the Railway Line	3.45ha

Evaluation of individually zoned available sites for residential development

Furthermore, 'Table 2.4 Housing Allocation & Zoned Land Requirements' of the 2013-2019 Development Plan and the 'Yield and Phasing of Residential Zoned Sites' table in the Duleek Written Statement, Volume 5 of the County Development Plan 2015-2019 suggested that Site B be developed at a density of 25 units per hectare:

Yield and Phasing of Residential Zoned Sites

Site Name	Zoning	Land Area	Density	Yield	Rank	Phase
Site B	A2	2.76ha	25	69	Joint 2 nd	I

Based upon the foregoing, and the fact that the new County Development Plan 2021-2027 had not come into effect by the time the request for pre-application consultation was submitted, the applicant proposed a residential development of 118 no. units on a site area of 4.8ha which produced a net and gross density of 25 units per hectare.

Taking into account the Opinion issued by An Bord Pleanála as well as the fact that the Meath County Development Plan 2021-2027 (hereafter 'CDP') has now come into effect and is the relevant Plan currently in place, the proposed development has been revised to propose a residential development of 141 no. dwellings which equates to a gross and net density of 30 units per hectare.

Chapter 2 (Core Strategy) of the CDP details residential zoned land requirements in each of the designated settlement centres in County Meath. Duleek is designated as a Self-Sustaining Town.

Table 2.12 "Core Strategy Table, Population and Household distribution to 2027" of the CDP sets out the projected household allocations for the lifetime of the current Plan and, as per same, the number of residential units envisaged to be necessary to meet the population growth of Duleek over the Plan period is 336 – refer to Fig. 1 over.



Settlement	Population 2016	Projected population increase to 2027	Projected population 2027	Approximate household holds completed 2016-2019	Extant units not yet built	Household allocation 2020-2027 ¹⁶	Potential units to be delivered on infill/brownfield lands ²	Quantum of land zoned for residential use (ha)	Quantum of land zoned for existing residential use (ha)	Quantum of land zoned for mix of uses (ha)
Duleek	4,219	500	4,719	36	85	336	250	10.9	96.33	6.14

Fig. 1 - Excerpt from: Table 2.12 “Core Strategy Table, Population and Household distribution to 2027” from Meath County Development Plan 2021-2027.

Given the population of Duleek as being less than 5,000 persons, Duleek can be described as a Small Town under Chapter 6 of the Guidelines on Sustainable Residential Development in Urban Areas (2009). The proposed density of development i.e. 30 units per hectare net, adheres to the guidance for sustainable residential development as the subject site is located within a Small Town and Chapter 6 of the Guidelines on Sustainable Residential Development in Urban Areas (2009) sets out density guidance for urban areas. Duleek falls into the Small Towns and Villages category. Section 6.11 of the guidelines state that net densities of 20-35 dwellings per hectare should generally be encouraged on edge of centre sites and that the form of development should include a wide variety of housing types from detached dwellings to terraced and apartment style accommodation. The proposed density of 30 units per hectare across the entire site is within this density range. Given the locational context close to the town centre, the level of public transport and other services in the area, it is considered that the proposed density is consistent with the aforementioned guidelines.

Section 11.5.2 “Density” of the CDP requires that the number of units to be provided on a site should be determined with reference to the Guidelines for Planning Authorities on ‘Sustainable Residential Development in Urban Areas’ (2009) or any update thereof. The following are the stated policy and objective of the Council regarding density:

DM POL 5	To promote sustainable development, a range of densities appropriate to the scale of settlement, site location, availability of public transport and community facilities including open space will be encouraged.
DM OBJ 14	The following densities shall be encouraged when considering planning applications for residential development: <ul style="list-style-type: none"> ▪ Residential Development Beside Rail Stations: 50 uph or above ▪ Regional Growth Centres/Key Towns: (Navan/Drogheda) - 35-45 uph ▪ Self-Sustaining Growth Towns: (Dunboyne, Ashbourne, Trim, Kells): greater than 35uph ▪ Self-Sustaining Towns: 25uph - 35uph ▪ Smaller Towns and Villages: 25uph - 35 uph ▪ Outer locations: 15uph – 25uph

The Plan identifies Duleek under the settlement typology of “Self-Sustaining Town”, which is required to deliver a residential density of between 25 to 35 units per hectare. In addition, it is considered that the subject site can also be described as being in a Small Town as per Chapter 6 of the Guidelines for Planning Authorities on ‘Sustainable Residential Development in Urban Areas’, and under section 6.11 of same, it is stated that net densities of 20-35 dwellings per hectare should generally be encouraged on edge of centre sites and that the form of development



should include a wide variety of housing types from detached dwellings to terraced and apartment style accommodation. The proposed net density of 30 units per hectare (as well as the proposed housing mix) is therefore consistent with the aforementioned guidelines and DM OBJ 14 of the CDP which requires a density range of 25-35 units per hectare in Self-Sustaining Towns.

In conclusion, the following should be noted:

- The current proposal now being put forward for permission has been revised from 118 no. units at 25 units per hectare to 141 no. units at 30 units per hectare.
- Duleek is designated as Self-Sustaining Town under the current CDP which requires residential development at a density range of 25-35 units per hectare under DM OBJ 14, which the current proposal of 30 units per hectare complies with.
- The Core Strategy allocation of 336 no. units until 2027 can accommodate the proposed development of 141 no. dwellings.

Item No. 1:

- b) Further consideration and/or justification of documents for the provision of high-quality design strategy to ensure sufficient permeability into adjoining lands and ensure the level differences and boundary treatment along the east of the site will not impact the amenity of the existing residents of properties along the east. The documents submitted shall include cross sections of all existing and proposed levels/gradient, in particular along the boundary with adjoining sites to the east and other documentation necessary to clearly demonstrate appropriate permeability to adjoining lands, having regard to the requirements of Design Manual for Urban Roads and Streets and the Sustainable Urban Housing: Design Standards for New Apartments, Guidelines for Planning Authorities.*

Response to Item 1 (b):

The proposed development provides for the creation of a new vehicular access into the site off the Longford Road / Steeples Road. A new roadside footpath and cyclepath along Longford Road / The Steeples Road is also proposed as indicated on the submitted plans and within the red line of application. In addition, pedestrian and cycle path connections are proposed to the adjoining lanes to the north and east as follows:

Northern Access

The northern laneway, apparently known as 'Julia Dunnes Lane', would have traditionally linked the Longford Road / Steeples Road with Larrix Street. At the end of both Roads 1 and 2, adjacent to the apartments, (No.s 58-61 & 95-96) pedestrian / cyclist access to the adjoining lane is provided for. Details of both of these access points are set out on the submitted drawing no. 6204-P-500 – please refer to same.

Eastern Access

To the east, (running in a north-south direction) there are actually two separate laneways. The first, known as 'Kennel Lane' provides access to two bungalows and an agricultural field; it is surfaced with gravel and well maintained. The second is a gated laneway and provides access to a single property, it is surfaced with tarmac and also well maintained. At the end of Road 5 within the proposed development, at the north-eastern corner of the site, it is proposed to provide for pedestrian and cyclist access via steps and a ramp given the level differences between the site and the adjoining lane. Details of the proposed access are set out on the submitted drawing no. 6204-P-501 – please refer to same.

We confirm that permission is being sought to create and deliver the 3 no. proposed pedestrian and cyclist access points at the northern and eastern boundaries of the site.

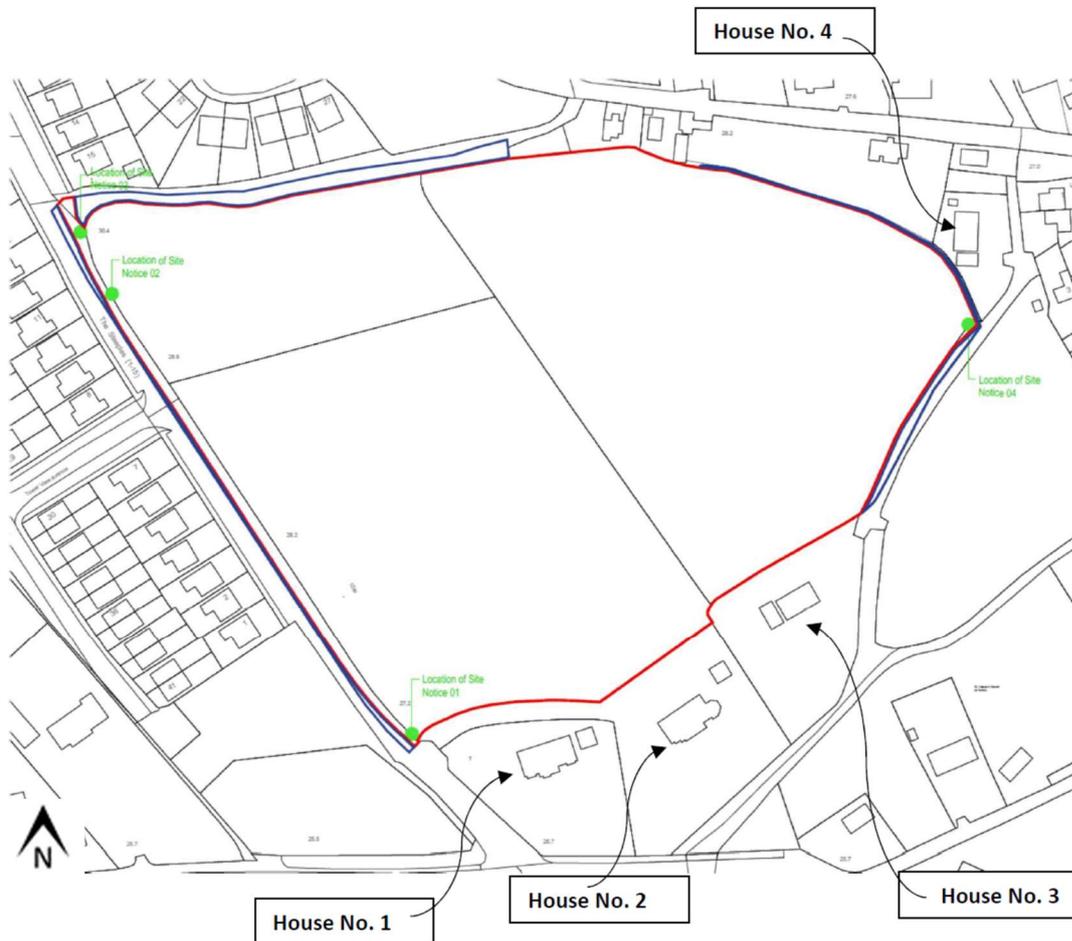


Fig. 2 – Extract from application site location map and neighbouring dwellings to the south-east

Abutting the south-eastern boundary of the site are three detached dwellings. The two southern-most dwellings (“house no.s 1 & 2”) are accessed via individual entrances off The Steeples Road and face south. The adjoining dwelling to the north-east (“house no. 3”) is accessed from Larrix Mews off Larrix Street to the north-east. “House no. 4” lies to the north-east of the subject site and also faces onto the lane. “House no.s 1 – 4” are all single storey dwellings. On the image above (Fig. 2), which is an extract from the enclosed site location map, we have numbered and identified the aforementioned dwellings for ease of reference.

The submitted drawing no. 6204-P-012 prepared by BKD provides details of the site sections prepared through the application site, with 7 no. sections prepared along the eastern boundary to take into account the relationship between the proposed dwellings and both the existing lane along the eastern boundary and the dwellings that either face onto same or lie to the east of the subject site.

Regarding “house no. 1” identified in Fig. 2 above, it lies over 28m south of the nearest proposed dwelling (house no. 37), with its garage lying over 17m from the proposed creche. Given the generous separation distances provided for, it is not considered that the proposed development will have any impact on “house no. 1”.

Sections 1 and 2 on the submitted drawing no. 6204-P-012 illustrates the relationship between the existing “house no. 2” and the proposed creche and dwelling no. 141.

An extract from the submitted drawing of section no. 1 is:

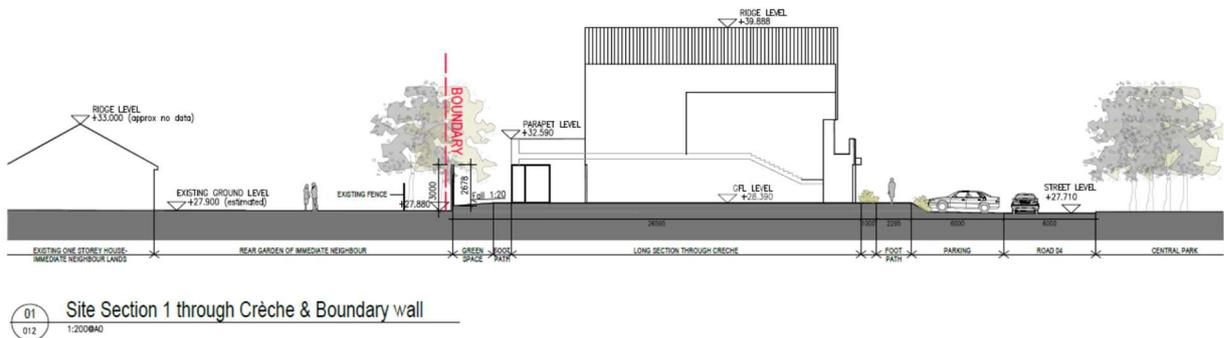


Fig. 3 – Site Section 01 taken from submitted drawing no. 6204-P012

Section 1 demonstrates that there is very little difference between the levels of both sites, with the ground floor level of the existing “house no. 2” being c. 0.5m lower than the crèche.

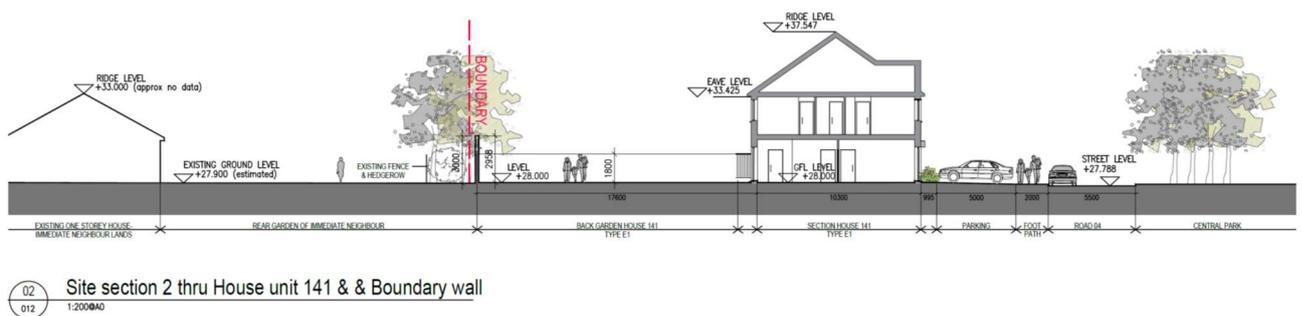


Fig. 4 – Site Section 02 taken from submitted drawing no. 6204-P012

Section 2 demonstrates that the existing “house no. 2” is at relatively the same ground level as the proposed house no. 141. These houses are to be separated by a distance of c. 37m.

To the rear of the proposed crèche and house no.s 138-141, it is proposed to provide a stone faced wall on the side of / facing into the existing “house no. 2” to ensure that existing residential privacy and amenity is maintained.

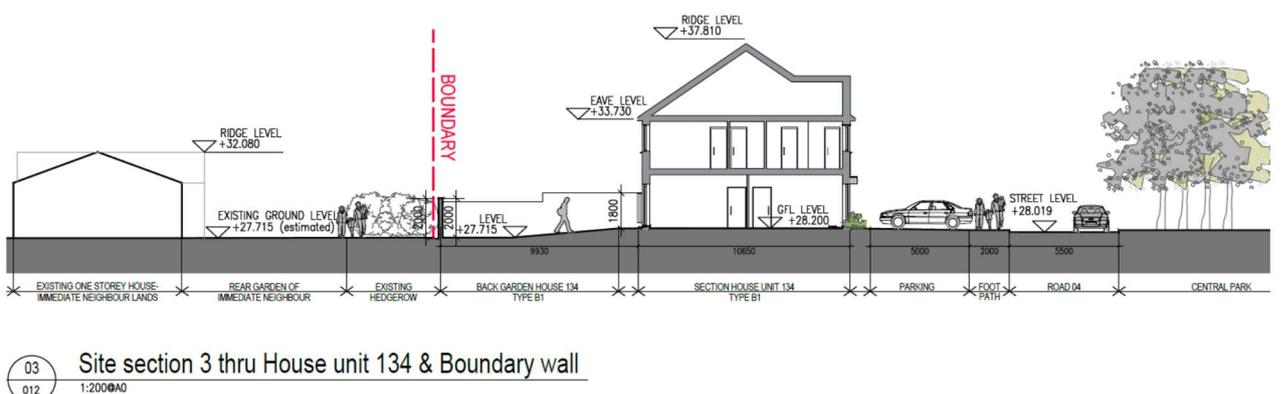


Fig. 5 – Site Section 03 taken from submitted drawing no. 6204-P012

Section 3 demonstrates the relationship between the existing “house no. 3” and the proposed house no. 134 which are separated by almost 23m. At the boundary between the two properties, the ground level is the same, however, the finished floor level of proposed house no. 134 is less than 500mm above the existing “house no. 3”. The proposed boundary treatment between the rear of “house no. 3” and the proposed house no.s 130-137 will be a standard 2m high concrete block wall with capping.

It should be noted that sections 1, 2 and 3 demonstrate that the existing “house no.s 1, 2 and 3” will back directly onto the subject site and are not separated from the subject site by the existing lane. The lane essentially abuts the subject site boundary from the rear of proposed house no. 129 moving north-eastwards. The rear boundary treatment to house no.s 122-129 is proposed to be a 2m high block wall.

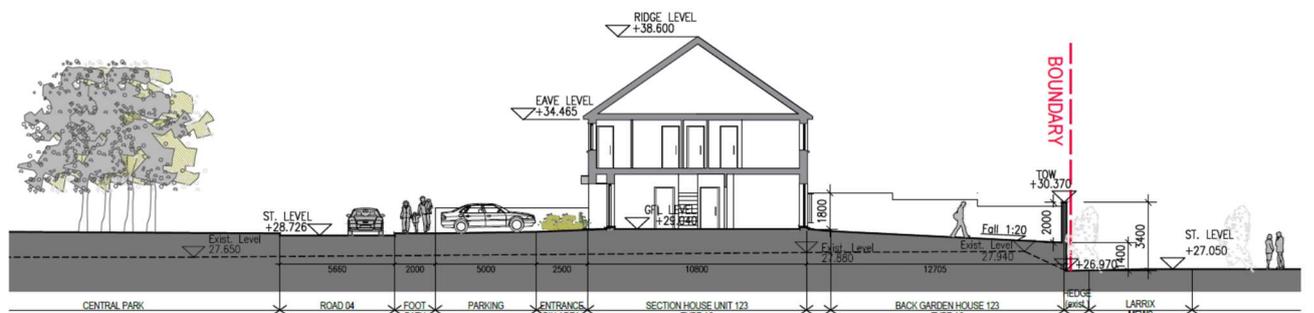
Sections 4 and 5 detail the relationship with the eastern boundary along the rear of house no.s 122-129 and the existing lane.



04 Site Section 4 thru House unit 128 & Boundary wall
1:200@A0

Fig. 6 – Site Section 04 taken from submitted drawing no. 6204-P012

Section 4 runs through the rear of proposed house no. 128 and the lane “Larrix Mews”. There is c. 1.2m of a level difference between the ground level of the lane and the ground level of the property at proposed house no. 128. To the rear of the house, a 2m wall will be provided but we note that the proposed house no.s 122-129 inclusive back onto Larrix Mews directly and not onto any existing dwellings, therefore there will be no impact on existing properties by the proposed development and its boundary treatments.



05 Site Section 5 thru House unit 123 & Boundary wall
1:200@A0

Fig. 7 – Site Section 05 taken from submitted drawing no. 6204-P012

Similar to section 4, section 5 illustrates the relationship with proposed house no. 123 and Larrix Mews with the ground level differences between both being c. 1.7m. To the rear of the house, a 2m wall will be provided but we note that the proposed house no. 123 backs onto Larrix Mews directly and not onto any existing dwellings, therefore there will be no impact on existing properties by the proposed development and its boundary treatments.

Section 6 details the relationship between the proposed development along the north-eastern boundary with the existing “house no. 4” to the north-east that faces directly onto Larrix Mews. The proposed house no. 120 is c.1.6m above the ground level of “house no. 4” with a 2m rear garden wall proposed as standard. The existing house no. 4 is at right angles to the proposed housing (no.s 120-121) and is a single story dwelling. Taking into consideration the separation distances and proposed boundary treatments it is not considered that there will be any overbearing impacts or undue overlooking from the proposed development onto “house no. 4”.

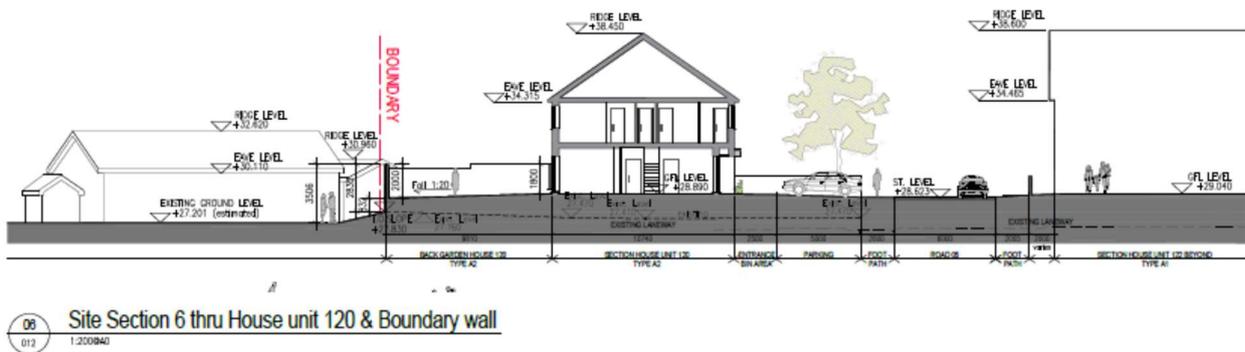


Fig. 8 – Site Section 06 taken from submitted drawing no. 6204-P012



Fig. 9 – Site Section 12 taken from submitted drawing no. 6204-P012

Section 12 provides details of the end of Road 5 as it terminates at the eastern boundary and connects to Larrix Mews via the proposed ramped and stepped access onto same. The street level on Road 5 at the boundary, is c. 1.8m above the existing level of Larrix Mews lane. Given the level difference here, a retaining wall is required with a 0.8m high stone wall atop same, on top of which will be a 1.2m high railing. The proposed railing will allow views into the site and onto the lane, is appropriate adjacent to the proposed access. This will also allow passive supervision of the lane.

Please refer to the submitted BKD drawing no. 6204-P-012 “Proposed Site Sections” which provides detailed analysis of the site sections, gradients and levels, all to scale. The above Figs 3-9 are extracts from this drawings and are not to scale.



In summary, due regard has been paid to the existing residential amenity currently enjoyed by neighbouring dwellings, particularly the four dwellings along the east / south-eastern boundary of the site. These existing dwellings are large single or single and half storey dwellings set on very large garden plots. The ground level of the subject site is slightly above that of these four houses, less so towards the east and more so for the two dwellings directly south of the site (i.e. house no.s 1 and 2 as per Fig. 1).

It is put forward that the difference in ground levels is not so great that it would result in any overbearing impacts on the existing dwellings. As can be identified on the submitted site layout plan (drawing no. 6204-P-003) sufficient separation distances between the proposed development and these dwellings is provided. The minimum separation distance that is proposed between proposed and existing dwellings along the southern boundary is at least 22 metres or more, and therefore, there will be no loss of amenity. A distance of least 22 metres between houses is enough to ensure privacy by limiting overlooking, the proposed dwellings are to the north of existing houses and it is put forward that there will be no issues of overshadowing or loss of light to the existing neighbouring properties as a result of the proposed development. Finally, the proposed houses and childcare facility are no more than two storeys in height and so overbearing appearance will not occur.

The existing “house no. 04” is a single storey dwelling with garage, which are located close to the north-eastern boundary of the proposed development. Proposed house number 121, house type A1 will be located c.13 metres from the southern gable of the existing bungalow. Whilst there would be no direct overlooking of the ground floor living rooms of the existing bungalow, it is proposed to place the window of bedroom 3 to its eastern elevation, which serves a dual purpose of ensuring privacy and providing more passive supervision opportunities over the small area of open space and access point onto the lane at the eastern tip of the site. Details of this proposal are set out on the submitted BKD drawing no. 6204-P-016 – please refer to same.

The proposed housing development requires robust boundary treatments to ensure security and privacy for future residents and the various boundary treatments put forward for permission are robust and in keeping with accepted boundary treatments in similar residential developments elsewhere, and we request that An Bord Pleanála accepts the details put forward for permission, or alternatively, attaches condition(s) detailing specified boundary treatments as they see fit and/or for agreement with the Planning Authority as compliance, prior to the commencement of development. Please also refer to the submitted RMDA drawing no. 02 – Boundary Masterplan for details of all of the proposed boundary treatments throughout the entire proposed development.

Item no. 2 - A Taking in Charge Map.

Response: Please refer to the submitted drawing no. 6204-P-005 “Taken in Charge Drawing” prepared by BKD Architects which identifies that areas that will be proposed to be taken in charge upon the completion of the overall development.

Item no. 3 – A report prepared by a suitably qualified and competent person demonstrating specific compliance with the requirements set out in the Design Manual for Urban Roads and Streets, in particular the provision of a road hierarchy and compliance with section 4.4.3, and the National Cycle Manual, as well as a map illustrating pedestrian, cycle and vehicular links through and off the site.

Response:

Please refer to the submitted report prepared by Punch Consulting Engineers which is titled “Movement & Connectivity” which details the proposed development’s compliance with:



- Design Manual for Urban Roads and Streets (DMURS), 2019;
- The National Cycle Manual, 2011;
- Meath County Development Plan 2021-2027.

Please refer to Fig. 3.2 (page 10) of the aforementioned report which illustrates the permeability through the site and links to adjoining lands. Fig. 3.3 of the same report (page 12) illustrates the proposed street hierarchy through the development. Section 6 of the report details of the proposed pedestrian and cyclist arrangements.

Item no. 4 – *A detailed landscaping plan clearly illustrating the quantum and functionality of all areas designated for communal and public open space. The landscaping details shall include, inter alia, designated communal open space, the inclusion of useable space for play provision necessary to comply with Section 4.13 of the Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities and the design, a detailed tree survey and proposed tree planting scheme and shall clearly indicate the quantum and designated areas of useable public open space.*

Response: Please refer to the submitted landscaping drawings and rationale prepared by RMDA Landscape Architects which include a landscape masterplan and tree planting details.

A tree and hedgerow survey has also been prepared by Arbor Care and is submitted as part of this application for permission.

A large area of centrally located public open space is provided, of 0.74Ha, which equates to over 15% of the site area, thus according with DM OBJ 26: of the CDP which requires that public open space shall be provided for residential development at a minimum rate of 15% of total site area. The area of public open space provision is clearly identified on the submitted site layout plan prepared by BKD Architects (refer to drawing no. 6204-P-003) and on the RMDA landscape masterplan drawing.

Both of the aforementioned drawings also illustrate the location and quantum of communal open space afforded to the proposed apartment units. Based upon the proposed quantum of apartments (10 no.), the following is a breakdown of the required communal open space to be provided as per the Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities, along with the proposed communal open space catered for as part of the proposed development – see Table 1 below:

Apartment Type	No. of Units	Communal Open Space Requirement Per Unit (m ²)	Total Communal Open Space Requirement (m ²)	Total Communal Open Space Provided (m ²)
1 bed / 2 person	10	5 m ²	50 m ²	770 m ²

Table 1: Required & Provided Communal Open Space for Proposed Apartments

The proposed development requires a total of 50m² of communal open space to serve the 10 no. apartments. In total, the proposed site layout plan caters for 770m² of semi-private / communal open space to serve apartments, in addition to the public and private open space provision. Please refer to the enclosed drawing prepared by BKD



Architects, numbered 6204-P-003 and titled Proposed Layout Plan for exact locations of proposed communal open space and quantity of same.

The proposed public and communal open spaces exceed the requirements of the Apartment Guidelines. It is considered that the location of the public areas allows for free movement within the site increasing permeability and connectivity through the site. The public open space is a large area centrally located affording maximum accessibility and passive supervision while the communal open spaces form more privatised spaces for use by the apartment residents only.

Given the proposal to provide 10 no. 1 bedroom apartment within the scheme, it is not envisaged that children will be occupying these units, rather they will be for single occupancy or a couple. Therefore, dedicated children's play is not proposed in the communal open spaces afforded to the apartments. However, please note that there are two no. play areas provided for within the large public open space – the details of which are set out in the submitted landscape plans and rationale – please refer to same. A natural playground for children up to age 6 (of 140 sq.m) is proposed, centrally located within the public open space area, and a natural playground for older children (6-10 year olds) is also proposed of (100 sq.m).

3.0. Prescribed Bodies

3.1 Finally, the Board's Opinion set out the statutory bodies to be notified of the making an application. A copy of the current application will be sent to the prescribed bodies, as per Section 8(1) of the Planning and Development (Housing) and Residential Tenancies Act 2016, and identified by the Board as follows:

1. Minister for Culture, Heritage and the Gaeltacht (archaeology)
2. Irish Water
3. Meath County Childcare Committee

3.2 Prior to the submission of the application, each of the above named prescribed bodies were contacted directly and asked if, given the Covid-19 pandemic and associated working restrictions related to same, if 1 no. digital copy only of the application would be sufficient for their assessment of the application. It should be noted that each of the prescribed bodies have been sent a softcopy of the application only (i.e. usb) as well as an email link to the dedicated website set up for this application.

A